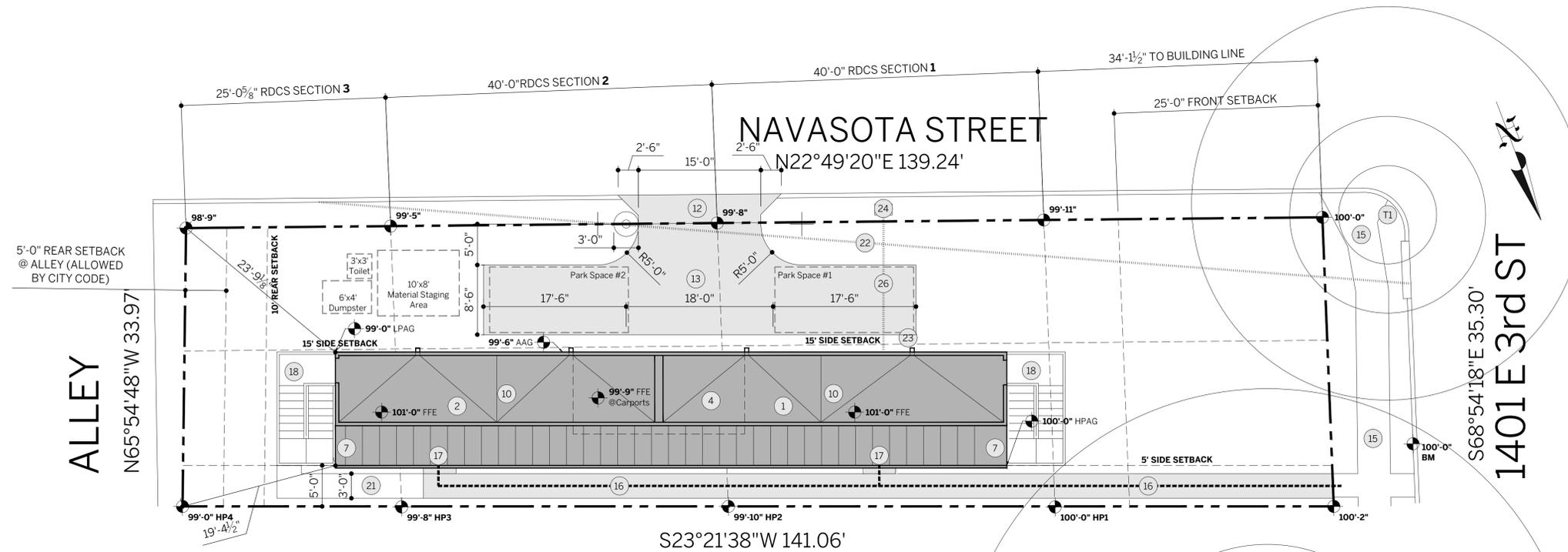


1401 E 3RD STREET
AUSTIN, TX 78702

Case # C15-2020-0020

June 8, 2020

SITE PLAN AS ORIGINALLY APPROVED



TREE PROTECTION NOTES:

- All trees 19" in trunk diameter and greater at a height of 4'-6" above adjacent grade are protected by municipal ordinance. No protected tree shall be removed without a permit.
- In order to assure that the remaining root zones are adequately preserved, tree protection fencing per the details on sheet G007 is required for all protected trees within the limits of construction. Extents of fencing are shown on this sheet. Tree protection fencing shall be installed prior to the commencement of construction. When the tree protection fencing cannot incorporate the entire 1/2 Critical Root Zone, an eight inch layer of mulch within the entire available root zone area is required for all trees which have any disturbance indicated within any portion of the Critical Root Zone.
- 2x4 or greater size planks @ 6' minimum length shall be strapped securely around protected trees' trunks and root flares when protective fencing does not incorporate entire 1/2 CRZ.
- All pruning shall be conducted under the strict oversight of a licensed professional arborist. PRUNING FOR SUBJECT TREES SHALL NOT EXCEED 25% OF TREE CANOPY.
- Trenching for all utilities in CRZs (indicated by notes 22 and 23) shall be minimized to the least extent feasible and shall occur by means of air-spading by a licensed professional arborist.
- Care shall be taken during construction that activities requiring vertical movement (eg, drilling rigs) shall not disturb existing tree canopies.

TREE PROTECTION NOTES (CONTINUED):

- The placement and storage of materials and/or heavy equipment on CRZs is strictly prohibited. Materials shall be staged as far from CRZs as possible.
- Impacts from construction or construction activities inside 1/4 CRZs are strictly prohibited without exception.

**REFER TO SHEET G005 FOR DETAILS OF 2-HR-RATED DEMISING WALLS (UL U373).
REFER TO SHEET G007 FOR ENVIRONMENTAL AND TREE-PROTECTION DETAILS.**

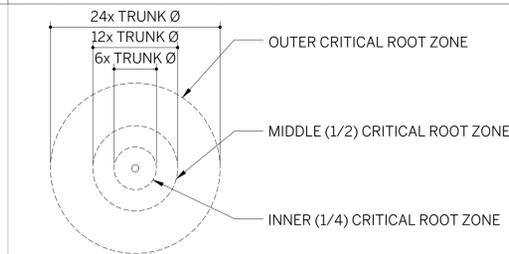
**REFER TO SHEET G001 FOR PROJECT INFORMATION AND AREA CALCULATIONS.
STRUCTURES SHALL BE PLACED ON SITE BY LICENSED PROFESSIONAL SURVEYOR.**

1 Site Plan
Scale 1/16" = 1'-0" @ 11x17
Scale 1/8" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT):

01 New primary residence.	12 New wood deck, uncovered.	20 New electrical meter(s) for primary and secondary residences, as applicable.
02 New secondary residence.	13 New concrete patio, uncovered.	21 Location of water meter (ref: civil engineering for final location).
03 New attached garage.	14 New concrete driveway.	22 New water supply line to residences, indicated thus:
04 New attached carport.	15 New concrete driveway ribbon.	23 New sewer line from residences (ref: civil engineering for final location of sewer tap), indicated thus:
05 New detached garage.	16 New concrete sidewalk.	
06 New detached carport.	17 New Type I driveway (approach) per City of Austin standards.	
07 New covered porch w/ deck or habitable space above.	18 New sidewalk in right-of-way per City of Austin standards.	
08 New covered porch w/o deck or habitable space above.	19 New overhead electric service, indicated thus:	
09 New uncovered deck.		
10 New uncovered roof deck.		
11 New spiral stair to roof deck.		

CRITICAL ROOT ZONES AT PROTECTED TREES:



TREE PROTECTION LEGEND:

- Mulch (3" layer of mulch inside tree protection fence, 8" layer outside).
- Tree protection fencing (ref: G007 and notes on this sheet).

LIST OF PROTECTED TREES:

#	TRUNK Ø	SPECIES

DISCLAIMERS:

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SEAL OF ARCHITECT:



SEAL OF MUNICIPAL APPROVAL:



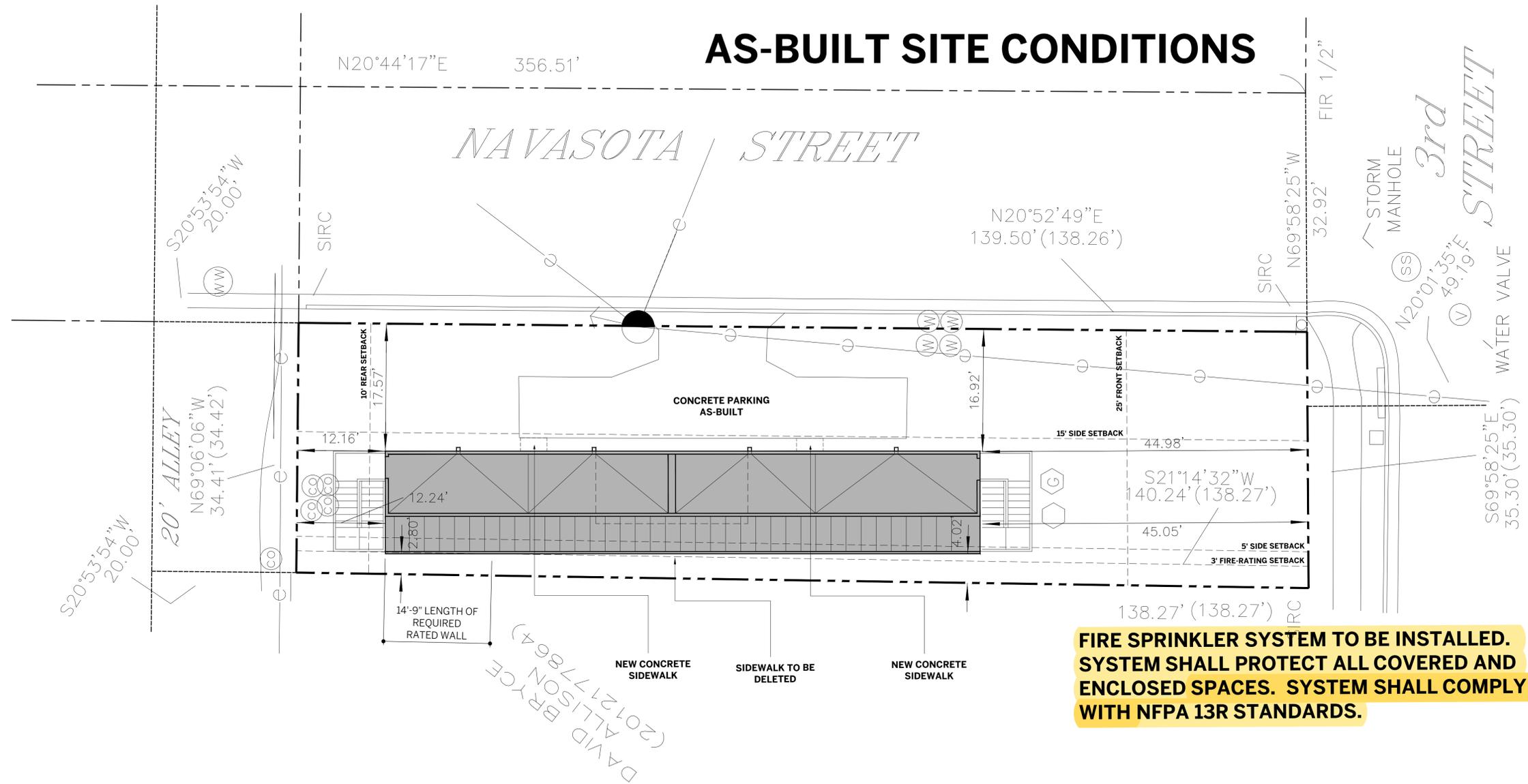
WILLIAM HODGE AIA ARCHITECT
4801 S CONGRESS AVE #N3
AUSTIN, TX 78745
512.786.9298
HODGEARCHITECT.COM

NEW PROJECT AT 1401 E 3rd ST
AUSTIN, TX 78702

ISSUE DATE **21 May 2020**
SHEET TYPE **Site Plan.**

A000

SPRINKLER SYSTEM



FIRE SPRINKLER SYSTEM TO BE INSTALLED. SYSTEM SHALL PROTECT ALL COVERED AND ENCLOSED SPACES. SYSTEM SHALL COMPLY WITH NFPA 13R STANDARDS.

THIS SHEET IS FOR DEPICTION OF AS-BUILT SITE CONDITIONS ONLY. REFER TO SHEETS A101 AND A102 FOR EXTENTS OF RATED EXTERIOR WALLS.

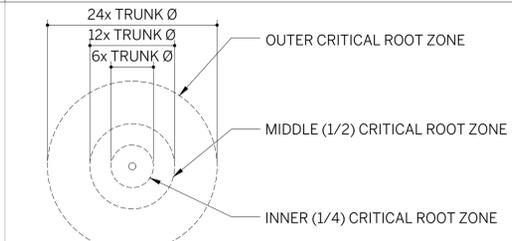
REFER TO SHEET G001 FOR PROJECT INFORMATION AND AREA CALCULATIONS. CONDITIONS DERIVED FROM CAD FILE OF SURVEY PROVIDED TO ARCHITECT.

1 Site Plan
Scale 1/16" = 1'-0" @ 11x17
Scale 1/8" = 1'-0" @ 24x36

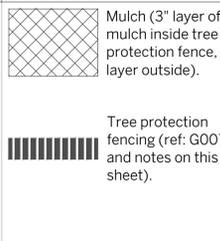
KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

01 New primary residence.	12 New wood deck, uncovered.	20 New electrical meter(s) for primary and secondary residences, as applicable.
02 New secondary residence.	13 New concrete patio, uncovered.	21 Location of water meter (ref: civil engineering for final location).
03 New attached garage.	14 New concrete driveway.	22 New water supply line to residences, indicated thus: _____
04 New attached carport.	15 New concrete driveway ribbon.	23 New sewer line from residences (ref: civil engineering for final location of sewer tap), indicated thus: _____
05 New detached garage.	16 New concrete sidewalk.	
06 New detached carport.	17 New Type I driveway (approach) per City of Austin standards.	
07 New covered porch w/ deck or habitable space above.	18 New sidewalk in right-of-way per City of Austin standards.	
08 New covered porch w/o deck or habitable space above.	19 New overhead electric service, indicated thus: _____	
09 New uncovered deck.		
10 New uncovered roof deck.		
11 New spiral stair to roof deck.		

CRITICAL ROOT ZONES AT PROTECTED TREES.



TREE PROTECTION LEGEND.



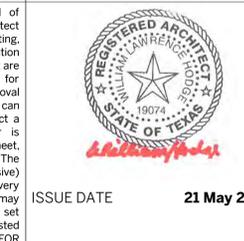
LIST OF PROTECTED TREES.

#	TRUNK Ø	SPECIES

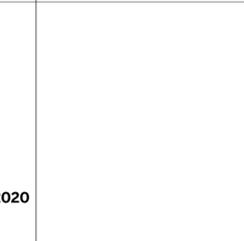
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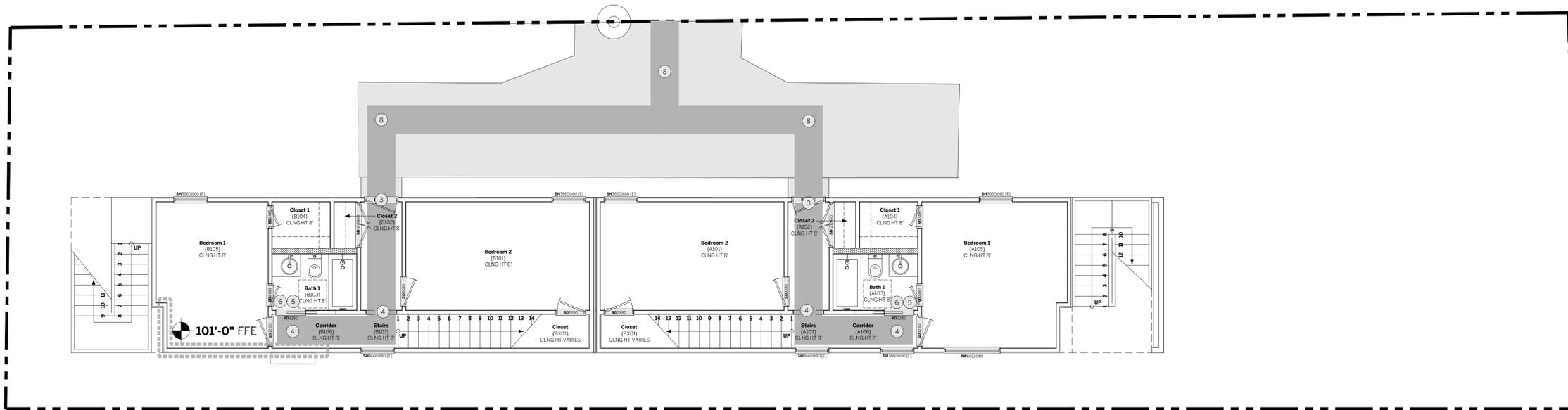
NEW PROJECT AT 1401 E 3rd ST
AUSTIN, TX 78702

ISSUE DATE **21 May 2020**
SHEET TYPE **As-Built Site Plan.**

A001

NAVASOTA STREET

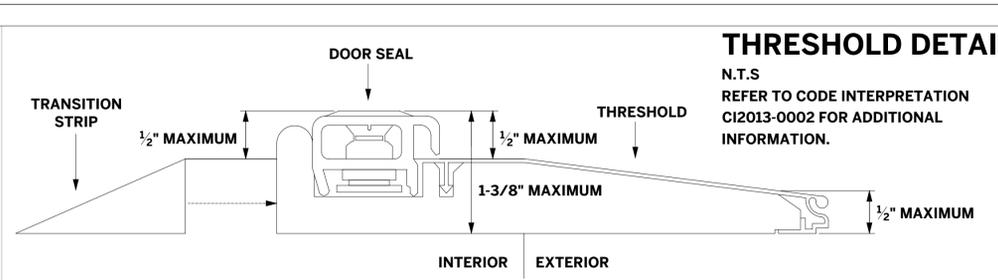
1401 E 3rd ST



1 Visitability Plan

Scale 3/32" = 1'-0" @ 11x17
Scale 3/16" = 1'-0" @ 24x36

KEYED NOTES.	
1	GENERAL NOTE: The junction-box centerline of all light switches and environmental controls shall be no higher than 45" above finished floor.
2	GENERAL NOTE: The junction-box centerline of all outlets, receptacles and data ports shall be no lower than 18" above finished floor.
3	No-step entry and maximum threshold height of 1/2", minimum nominal 36" width.
4	32" clear visitable route
5	2x6 blocking at all walls in bathrooms (except directly behind lavatories), centerline 34" above finished floor.
6	32" wide door to bathroom. Door shall not impede required 30" x 30" clear space inside bathroom.
7	Exterior visitable route via sidewalk.
8	Exterior visitable route via driveway.



GENERAL NOTE.
Refer to sheet G002 for notes regarding VISITABILITY REQUIREMENTS

Exterior visitable route shall have a running slope of no more than 1:12 unless handrails are provided, in which caserunning slope shall not exceed 1:8. Cross slope shall in no case exceed 1:50.

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SEAL OF ARCHITECT.

ISSUE DATE **21 May 2020**

SEAL OF MUNICIPAL APPROVAL.

WILLIAM HODGE AIA ARCHITECT
4801 S CONGRESS AVE #N3
AUSTIN, TX 78745
512.786.9298
HODGEARCHITECT.COM

NEW PROJECT AT 1401 E 3rd ST
AUSTIN, TX 78702

ISSUE DATE **21 May 2020**
SHEET TYPE **Visitability Plan.**

A100

EXISTING ELEVATIONS - FRONT

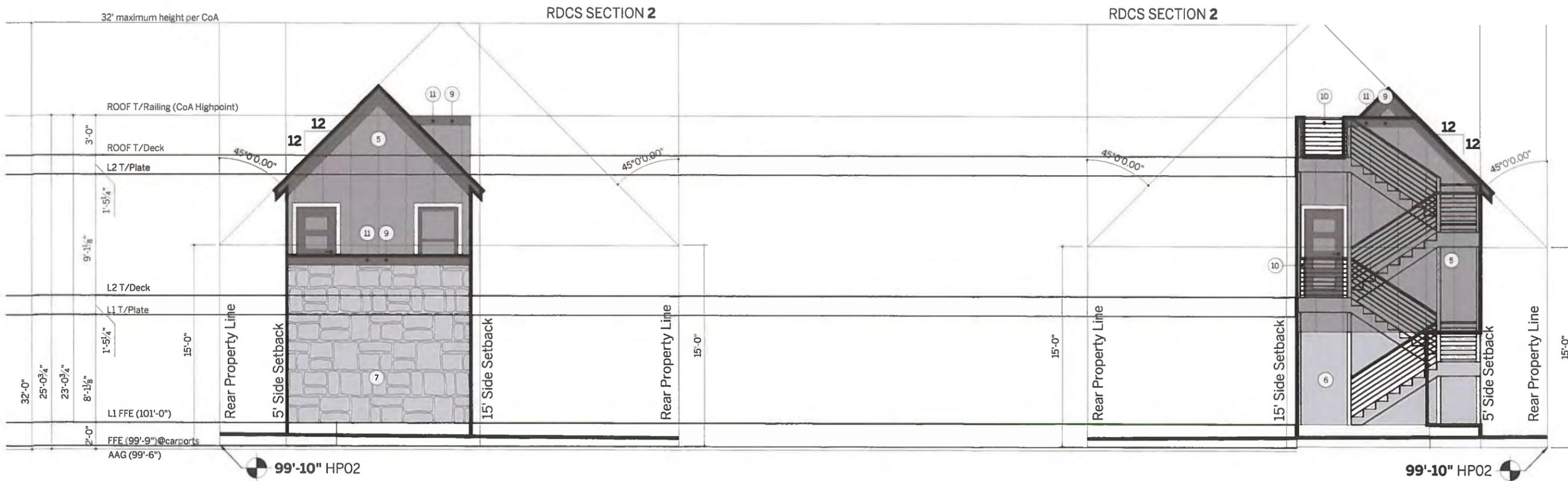
LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i):

A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1

Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE. ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.



1 Elevation, Bldg 1, Front
 Scale 1/8" = 1'-0" @ 11x17
 Scale 1/4" = 1'-0" @ 24x36

2 Elevation, Bldg 1, Rear
 Scale 1/8" = 1'-0" @ 11x17
 Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

- | | | |
|--|--|--|
| 01 New standing-seam metal roof. | 06 New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric. | 11 New parapet at exterior porch or deck. Minimum height 36" above finish floor. |
| 02 New 30-year composition shingle roof. | 07 New 3.5"-thick stone masonry veneer, random-ashlar bond. | |
| 03 New horizontally-oriented cement-board siding. Exposure 6". | 08 New brick masonry veneer, common bond. | |
| 04 New horizontally-oriented cement-board siding. Exposure 12". | 09 New metal coping. Exposure 6". | |
| 05 New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens. | 10 New metal railing at exterior porch or deck. Minimum height 36" above finish floor. | |

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SEAL OF ARCHITECT.

 ISSUE DATE **02 Nov 2017.**
 GRAPHIC SCALE (in feet)

SEAL OF MUNICIPAL APPROVAL.
 City of Austin
 REVIEWED FOR CODE COMPLIANCE

OCHONA
 Development + Architecture
 SINGLE-FAMILY RESIDENCE W/
 ACCESSORY APT AT
 1401 E 3RD ST
 AUSTIN, TEXAS 78702
 ISSUE DATE 02 Nov 2017.
 SHEET TYPE Elevations, Bldg 1.
A201

EXISTING ELEVATION - EAST FACING

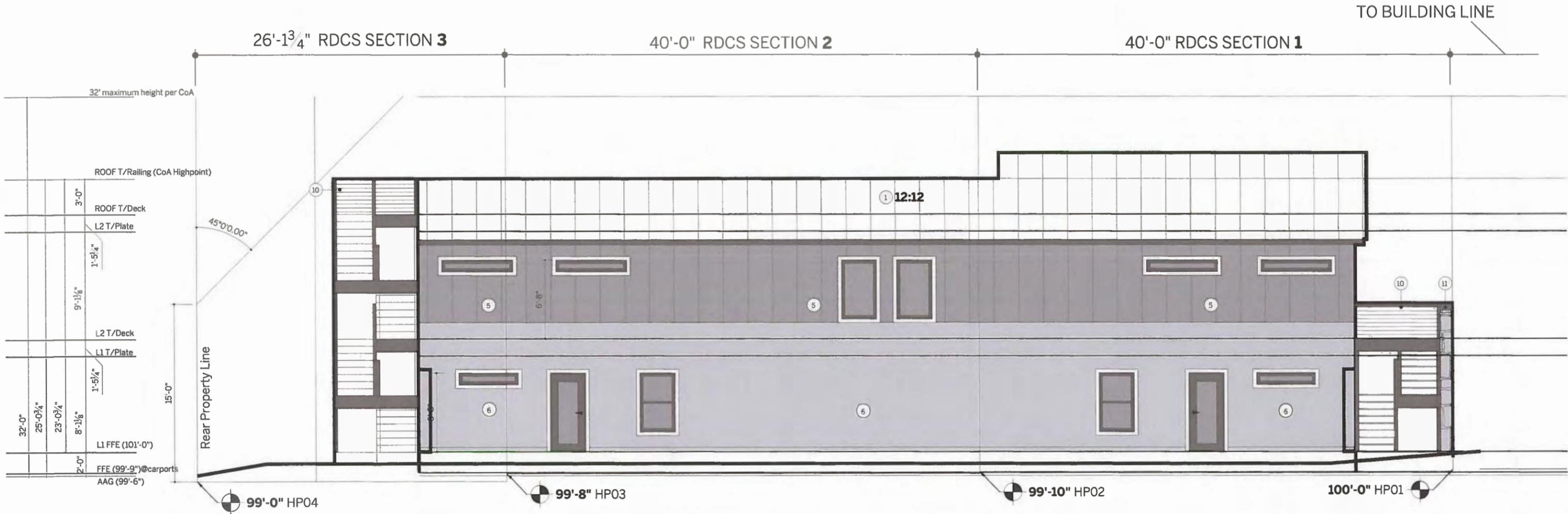
LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E. 4, b, (i):

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LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1

Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.



1 Elevation, Bldg 1, Left

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

01 New standing-seam metal roof.	06 New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric.	11 New parapet at exterior porch or deck. Minimum height 36" above finish floor.
02 New 30-year composition shingle roof.	07 New 3.5"-thick stone masonry veneer, random-ashlar bond.	
03 New horizontally-oriented cement-board siding. Exposure 6".	08 New brick masonry veneer, common bond.	
04 New horizontally-oriented cement-board siding. Exposure 12".	09 New metal coping. Exposure 6".	
05 New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens.	10 New metal railing at exterior porch or deck. Minimum height 36" above finish floor.	

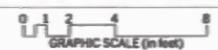
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SEAL OF ARCHITECT.



ISSUE DATE **02 Nov 2017.**



SEARCH MUNICIPAL APPROVAL.

REVIEWED FOR CODE COMPLIANCE
City of Austin

OCHONA
Development + Architecture

SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702

ISSUE DATE 02 Nov 2017.
SHEET TYPE Elevations, Bldg 1.

A 203

EXISTING ELEVATION - WEST FACING

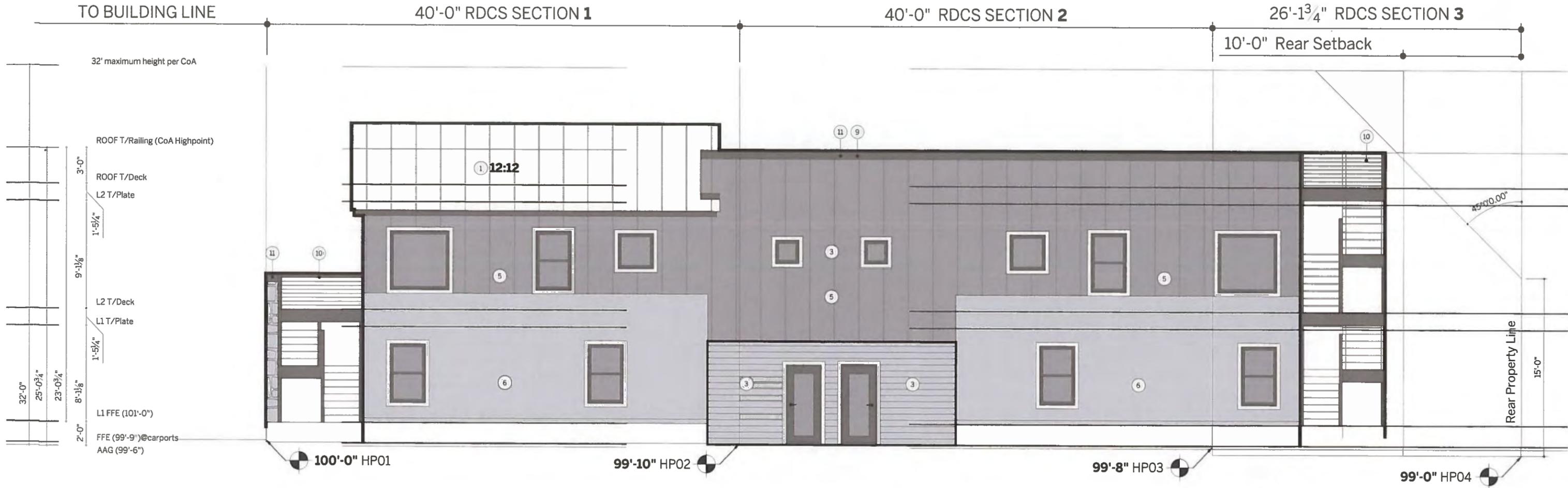
LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i):

LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.41

A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.

Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.

ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE. ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.



1 Elevation, Bldg 1, Right

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

1 Elevation, Bldg 1, Right

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

01 New standing-seam metal roof.	06 New 3-coat Portland-cement stucco on metal lath. 3rd coat elastomeric.	11 New parapet at exterior porch or deck. Minimum height 36" above finish floor.
02 New 30-year composition shingle roof.	07 New 3.5"-thick stone masonry veneer, random-ashlar bond, common bond.	
03 New horizontally-oriented cement-board siding. Exposure 6".	08 New brick masonry veneer, common bond.	
04 New horizontally-oriented cement-board siding. Exposure 12".	09 New metal coping. Exposure 6".	
05 New vertically-oriented cement-board paneling. Exposure 24" w/ 1x2 battens.	10 New metal railing at exterior porch or deck. Minimum height 36" above finish floor.	

DISCLAIMERS.

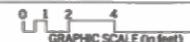
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SEAL OF ARCHITECT.



ISSUE DATE

02 Nov 2017.



SEAL OF MUNICIPAL APPROVAL.

City of Austin
REVIEWED FOR CODE COMPLIANCE

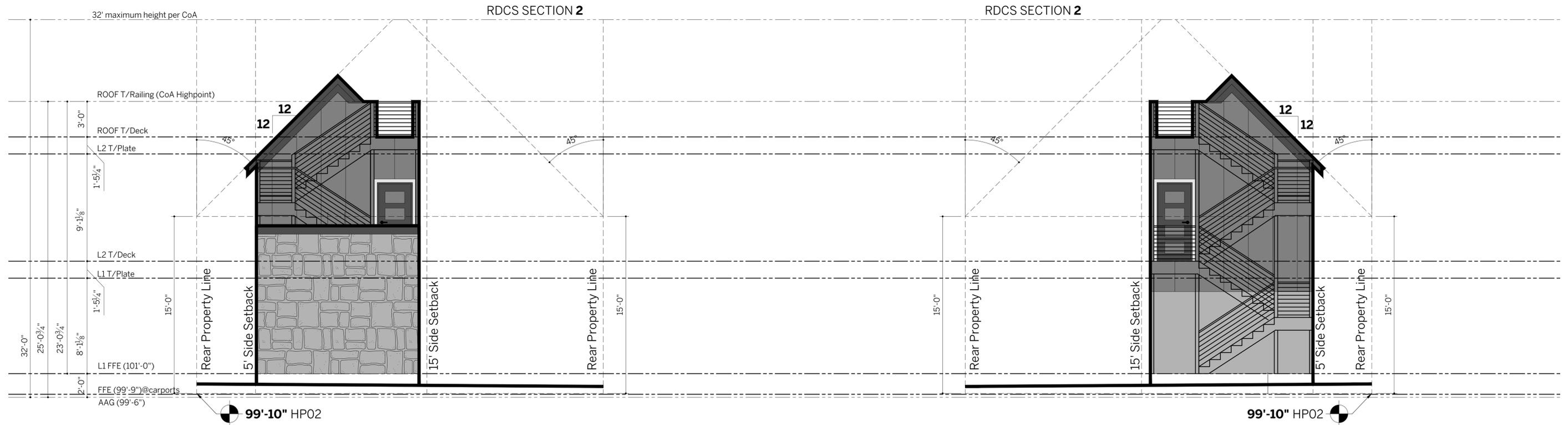
OCHONA
Development + Architecture

SINGLE-FAMILY RESIDENCE W/
ACCESSORY APT AT
1401 E 3RD ST
AUSTIN, TEXAS 78702

ISSUE DATE: 02 Nov 2017.
SHEET TYPE: Elevations, Bldg 1.

A204

PROPOSED ELEVATIONS - FRONT

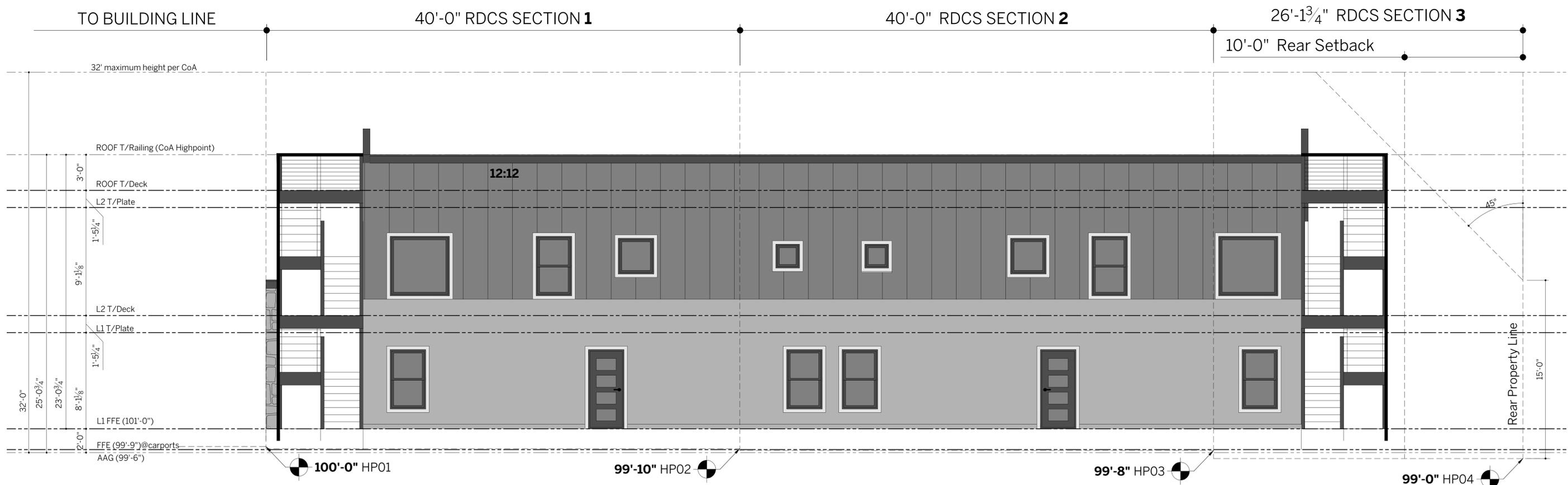


1 Elevation, Bldg 1, Front

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES.	CODE REFERENCES (City of Austin RDCS area only).	MATERIALS LEGEND.	DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.
<p>01 New metal coping. Exposure 6".</p> <p>02 New metal flashing. Exposure 6" minimum.</p> <p>03 New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5".</p> <p>04 New parapet at exterior porch or deck. Minimum 36" above finish floor.</p> <p>05 New through-wall scupper.</p> <p>06 New metal downspout.</p> <p>07 Steel column (ref: structural).</p>	<p>LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.</p> <p>ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.</p> <p>LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.</p>	<p>Standing-seam metal roofing</p> <p>Cement-board or RealTrim fascia</p> <p>6" horizontal cement board</p> <p>6" horizontal stained wood</p> <p>Composition-shingle roofing</p> <p>Cement-board trim or RealTrim</p> <p>24" vertical cement board</p> <p>Stone veneer (ashlar bond)</p>	<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p>	<p>ISSUE DATE 21 May 2020</p>	<p>ISSUE DATE 21 May 2020</p> <p>SHEET TYPE Elevations.</p> <p>A201</p>

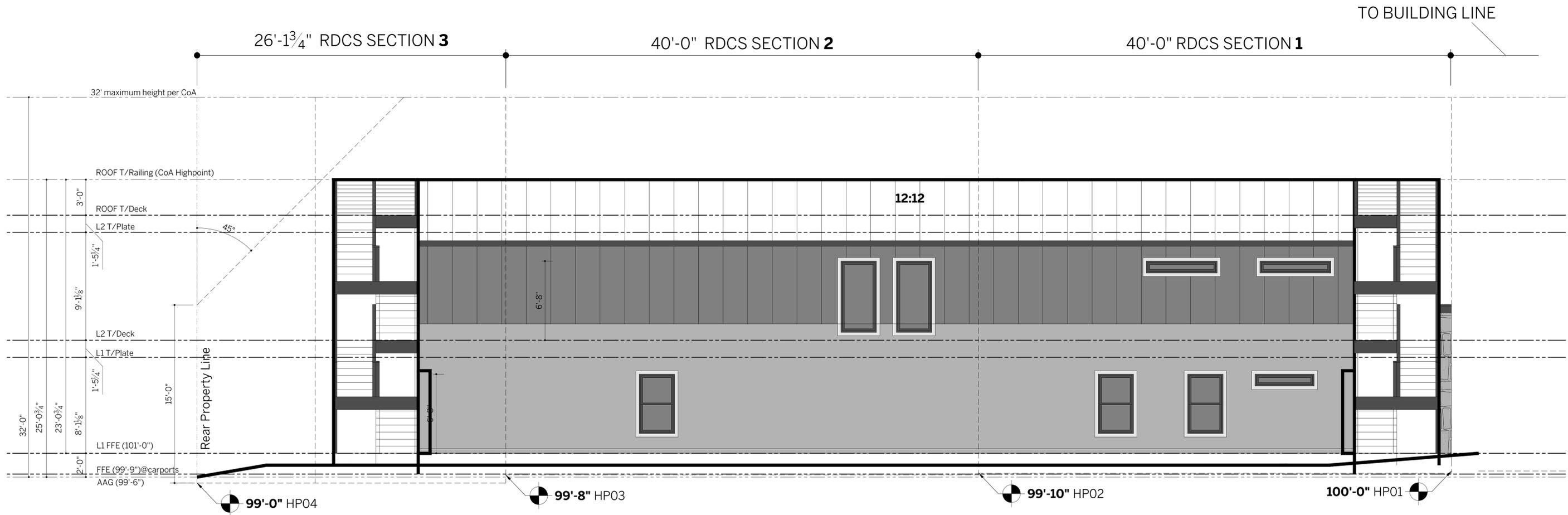
PROPOSED ELEVATIONS- WEST FACING



1 Elevation, Bldg 1, Right
 Scale 1/8" = 1'-0" @ 11x17
 Scale 1/4" = 1'-0" @ 24x36

<p>KEYED NOTES.</p> <p>01 New metal coping. Exposure 6".</p> <p>02 New metal flashing. Exposure 6" minimum.</p> <p>03 New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5".</p> <p>04 New parapet at exterior porch or deck. Minimum 36" above finish floor.</p> <p>05 New through-wall scupper.</p> <p>06 New metal downspout.</p> <p>07 Steel column (ref: structural).</p>	<p>CODE REFERENCES (City of Austin RDCS area only).</p> <p>LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.</p> <p>ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.</p> <p>LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.</p>	<p>MATERIALS LEGEND.</p> <p>Standing-seam metal roofing</p> <p>Cement-board or RealTrim fascia</p> <p>6" horizontal cement board</p> <p>6" horizontal stained wood</p> <p>Composition-shingle roofing</p> <p>Cement-board trim or RealTrim</p> <p>24" vertical cement board</p> <p>Stone veneer (ashlar bond)</p>	<p>DISCLAIMERS.</p> <p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p>	<p>SEAL OF ARCHITECT.</p>  <p>ISSUE DATE 21 May 2020</p>	<p>SEAL OF MUNICIPAL APPROVAL.</p>	<p>WILLIAM HODGE AIA ARCHITECT</p> <p>4801 S CONGRESS AVE #N3 AUSTIN, TX 78745 512.786.9298 HODGEARCHITECT.COM</p> <p>NEW PROJECT AT 1401 E 3rd ST AUSTIN, TX 78702</p> <p>ISSUE DATE 21 May 2020</p> <p>SHEET TYPE Elevations.</p> <p>A202</p>
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PROPOSED ELEVATIONS- EAST FACING



1 Elevation, Bldg 1, Left

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES.	
01	New metal coping. Exposure 6".
02	New metal flashing. Exposure 6" minimum.
03	New metal railing at exterior porch or deck. Minimum height 36" above finish floor. Maximum opening 3.5".
04	New parapet at exterior porch or deck. Minimum 36" above finish floor.
05	New through-wall scupper.
06	New metal downspout.
07	Steel column (ref: structural).

CODE REFERENCES (City of Austin RDSCS area only).	
LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 2.6, E, 4, b, (i): A structure may not extend beyond a setback plane...except for gables or a shed roof, with a total horizontal length of not more than 18 feet on each side of the building, measured along the intersection with the setback plane.	
ARCHITECT'S NOTE: NO PROVISIONS FOR "HABITABILITY OF SPACE" ARE MADE IN THE LANGUAGE CITED ABOVE. IE: ANY ENCLOSED SPACE UNDER THE SHED ROOF MAY PROTRUDE, INCLUDING SPACE USED FOR VERTICAL CIRCULATION.	
LDC TITLE 25, CHAPTER 25-2, SUBCHAPTER F, ARTICLE 3.4.1 Height shall be measured vertically from the average of the highest and lowest grades adjacent to the building to...for a pitched or hip roof, the gabled roof or dormer with the highest average height.	

MATERIALS LEGEND.	
	Standing-seam metal roofing
	Cement-board or RealTrim fascia

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SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.

ISSUE DATE	21 May 2020
SHEET TYPE	Elevations, Bldg 1.
A204	

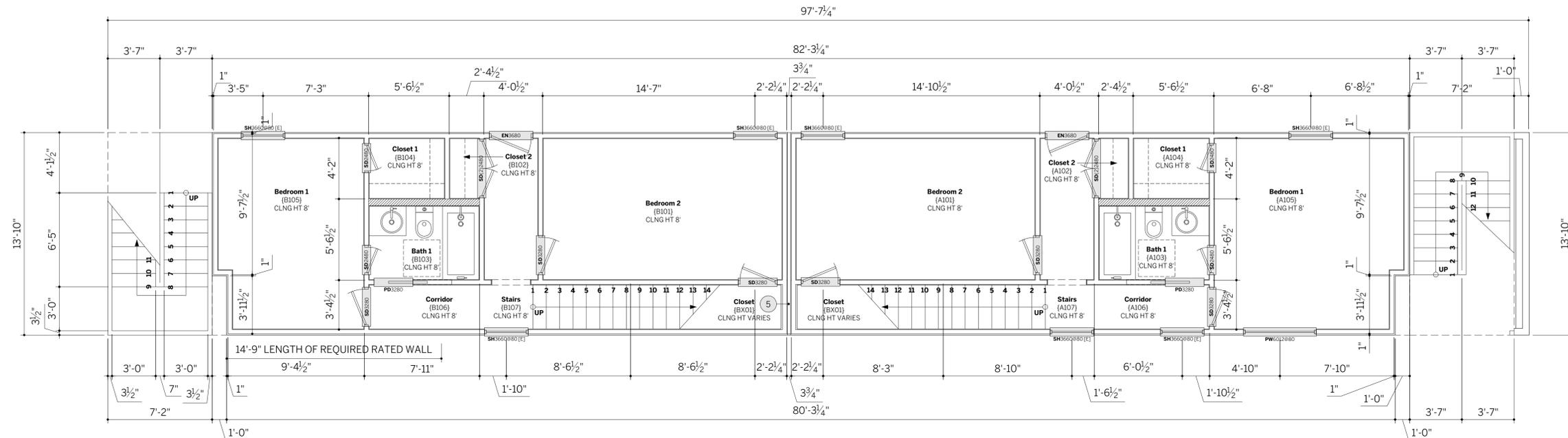
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NEW PROJECT AT 1401 E 3rd ST
AUSTIN, TX 78702

ISSUE DATE: 21 May 2020
SHEET TYPE: Elevations, Bldg 1.

A204

FLOOR PLANS



1 Floor Plan, Bldg 1, Level 01

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

01	New 2-hr-rated demising wall between duplex units. Construction to comply with UL U373. REQUIRED: XX'-XX" PROVIDED: XX'-XX"	03	Railing or partial-height wall at interior. Minimum height 36" above finish floor. Maximum openness 3.5".	R1	New walkable-PVC roof deck.
01a	NEW OR RETROFIT 1-HR RATED EXTERIOR WALL COMPLIANT WITH UL U305.	04	Open metal or wood railing at stair. Minimum height 36" above nosing of stair. Maximum openness 3.5".	R2	New metal coping.
02	Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Maximum openness 3.5".	05	Ceiling break.	R3	New metal scupper.
		06	Linen closet (cabinetry).	R4	New metal gutter.
		07	Pantry (cabinetry).	R5	New metal downspout.
		08	Access panel to AC.		

NOTES ON FRAMING.

- Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening.
- Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level.
- Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level.
- Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level.
- At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less.
- A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50.

FRAMING AND ROOFING LEGEND.

	Standing-seam metal roofing		Composition-shingle roofing
	2x4 wood framing		2x6 wood framing
	2-hour rated firewall (per G005) COMPLIANT WITH UL ASSEMBLY U373		

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ISSUE DATE

21 May 2020

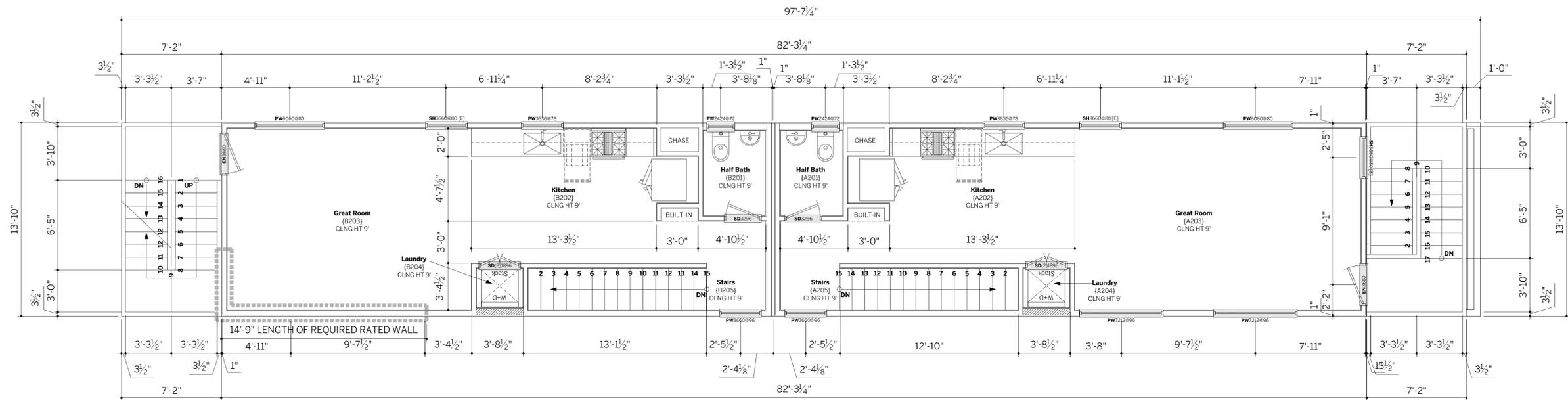
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NEW PROJECT AT 1401 E 3rd ST
AUSTIN, TX 78702

ISSUE DATE **21 May 2020**
SHEET TYPE **Floor Plans, Level 01**

A101



1 Floor Plan, Bldg 1, Level 02
 Scale 1/8" = 1'-0" @ 11x17

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

01	New 2-hr-rated demising wall between duplex units. Construction to comply with UL U373. REQUIRED: XX'-XX" PROVIDED: XX'-XX"
01a	NEW OR RETROFIT 1-HR RATED EXTERIOR WALL COMPLIANT WITH UL U305.
02	Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Maximum openness 3.5".
03	Railing or partial-height wall at interior. Minimum height 36" above finish floor. Maximum openness 3.5".
04	Open metal or wood railing at stair. Minimum height 36" above nosing of stair. Maximum openness 3.5".
05	Ceiling break.
06	Linen closet (cabinetry).
07	Pantry (cabinetry).
08	Access panel to AC.

R1	New walkable-PVC roof deck.
R2	New metal coping.
R3	New metal scupper.
R4	New metal gutter.
R5	New metal downspout.

- NOTES ON FRAMING.**
- Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening.
 - Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level.
 - Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level.
 - Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level.
 - At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less.
 - A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50.

FRAMING AND ROOFING LEGEND.

	Standing-seam metal roofing		Composition-shingle roofing
	2x4 wood framing		2x6 wood framing
	2-hour rated firewall (per G005) COMPLIANT WITH UL ASSEMBLY U373		

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ISSUE DATE 21 May 2020

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ISSUE DATE 21 May 2020

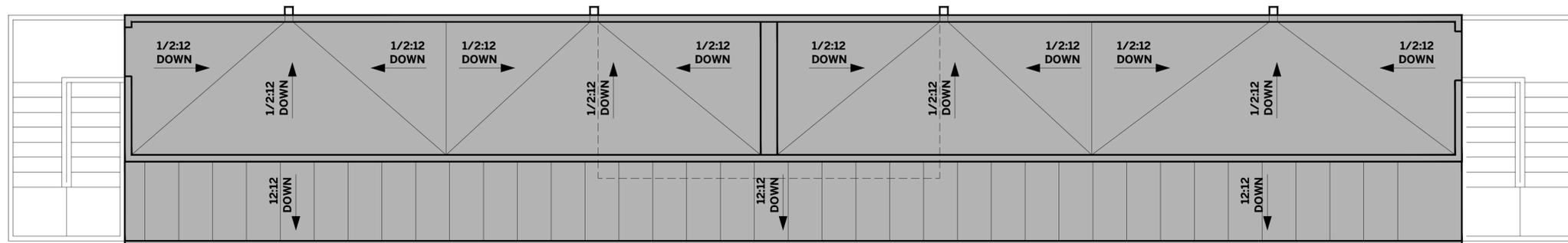
SHEET TYPE Floor Plans, Level 02.

WILLIAM HODGE AIA ARCHITECT

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NEW PROJECT AT 1401 E 3rd ST
 AUSTIN, TX 78702

A102



1 Roof Plan, Bldg 1
 Scale 1/8" = 1'-0" @ 11x17
 Scale 1/4" = 1'-0" @ 24x36

KEYED NOTES (NOT ALL NOTES MAY PERTAIN TO THIS SPECIFIC PROJECT).

01	New 2-hr-rated demising wall between duplex units. Construction to comply with UL U373. REQUIRED: XX'-XX" PROVIDED: XX'-XX"
01a	NEW OR RETROFIT 1-HR RATED EXTERIOR WALL COMPLIANT WITH UL U305.
02	Railing or parapet at exterior porch or deck. Minimum height 36" above finish floor. Maximum openness 3.5".
03	Railing or partial-height wall at interior. Minimum height 36" above finish floor. Maximum openness 3.5".
04	Open metal or wood railing at stair. Minimum height 36" above nosing of stair. Maximum openness 3.5".
05	Ceiling break.
06	Linen closet (cabinetry).
07	Pantry (cabinetry).
08	Access panel to AC.

R1	New walkable-PVC roof deck.
R2	New metal coping.
R3	New metal scupper.
R4	New metal gutter.
R5	New metal downspout.

NOTES ON FRAMING.

- Bathroom(s) on the first floor shall receive an entry door with minimum 30" clear opening.
- Bathroom(s) on the first floor shall receive 2x6 wood blocking parallel with floor (except directly behind lavatories). Blocking shall be installed such that the centerline of blocking is 34" above finish floor level.
- Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level.
- Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level.
- At least one entrance to the first floor of the dwelling shall have a "no-step" entrance with a beveled threshold of 1/2" or less.
- A visitable route shall be provided from public way to the no-step entrance of each dwelling unit. Said visitable route shall be a minimum of 36" in clear width and shall have a maximum cross-slope of 1:50.

FRAMING AND ROOFING LEGEND.

	Standing-seam metal roofing		Composition-shingle roofing
	2x4 wood framing		2x6 wood framing
	2-hour rated firewall (per G005)		COMPLIANT WITH UL ASSEMBLY U373

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ISSUE DATE **21 May 2020**

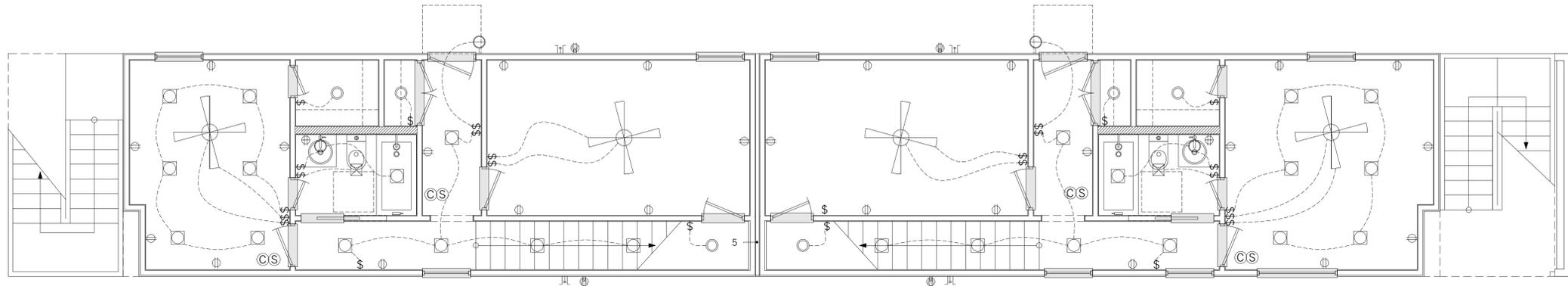
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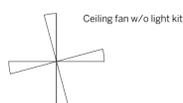
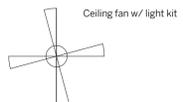
NEW PROJECT AT 1401 E 3rd ST
 AUSTIN, TX 78702

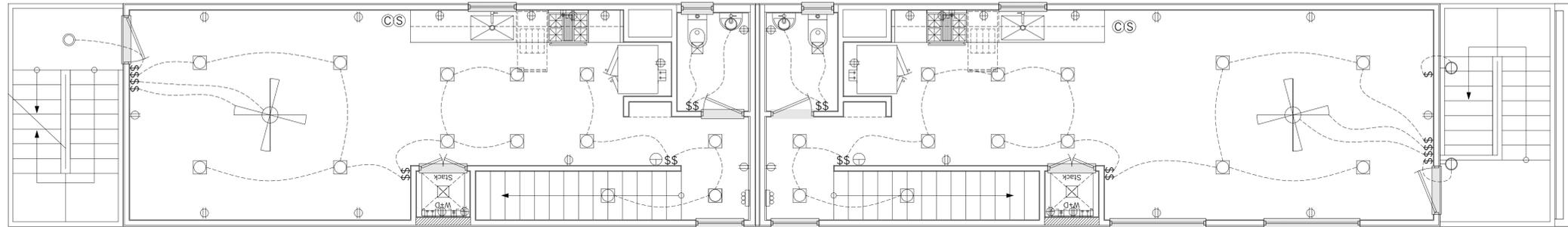
ISSUE DATE **21 May 2020**
 SHEET TYPE **Roof Plans.**

A104



1 MEP Plan, Bldg 1, Level 01
 Scale 1/8" = 1'-0" @ 11x17
 Scale 1/4" = 1'-0" @ 24x36

FIXTURE LEGEND.				GENERAL MEP NOTES.		DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.
 Ceiling fan w/o light kit  Ceiling fan w/ light kit	 Pendant light  Ceiling-mounted light  Recessed can light  Vanity light  Exterior wall-mounted light  Undercounter lighting  Exhaust fan	 Wall switch  Duplex outlet  GFCI duplex outlet  Waterproof GFCI duplex outlet  220V outlet  Electric meter	 Smoke detector  CO2 detector  Thermostat  Hot-cold water tap  Hose bibb  Gas tap  Gas tankless water heater	<ol style="list-style-type: none"> Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level. Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level. Final locations of lighting and outlets to be coordinated in field with Owner. Final switching to be coordinated in field with Owner. 	<p>DISCLAIMERS.</p> <p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p>	<p>SEAL OF ARCHITECT.</p>  <p>ISSUE DATE 21 May 2020</p>	<p>SEAL OF MUNICIPAL APPROVAL.</p>	
							 <p>WILLIAM HODGE AIA ARCHITECT 4801 S CONGRESS AVE #N3 AUSTIN, TX 78745 512.786.9298 HODGEARCHITECT.COM</p>	
							<p>NEW PROJECT AT 1401 E 3rd ST AUSTIN, TX 78702</p> <p>ISSUE DATE 21 May 2020 SHEET TYPE MEP Plans, Level 01</p> <p>A105</p>	



1 MEP Plan, Bldg 1, Level 02

Scale 1/8" = 1'-0" @ 11x17
Scale 1/4" = 1'-0" @ 24x36

FIXTURE LEGEND.		GENERAL MEP NOTES.		DISCLAIMERS.	SEAL OF ARCHITECT.	SEAL OF MUNICIPAL APPROVAL.	
 Ceiling fan w/o light kit  Ceiling fan w/ light kit	 Pendant light  Ceiling-mounted light  Recessed can light  Vanity light  Exterior wall-mounted light  Undercounter lighting  Exhaust fan	 Wall switch  Duplex outlet  GFCI duplex outlet  Waterproof GFCI duplex outlet  220V outlet  Electric meter	 Smoke detector  CO2 detector  Thermostat  Hot/cold water tap  Hose bibb  Gas tap  Gas tankless water heater	<ol style="list-style-type: none"> Switches and thermostats on all floors shall be located no greater than 45" (@ junction-box centerline) above finish floor level. Power receptacles and data ports on all floors shall be located no less than 18" (@ junction-box centerline) above finish floor level. Final locations of lighting and outlets to be coordinated in field with Owner. Final switching to be coordinated in field with Owner. 	<p>This document is issued under the seal of WILLIAM LAWRENCE HODGE, Texas architect #19074. This document is not for permitting, regulatory approval, pricing or construction unless the seal and signature of the Architect are visible. This document is not approved for construction unless a seal of municipal approval is visible. No set of construction documents can contain all information required to construct a project. Interpretation by a contractor is required. That which is shown in one sheet, applies to all sheets in this set by reference. The information in G001 through G009 (inclusive) apply to every sheet in this set and to every contractor and/or subcontractor that may perform work on this project. Unless this set contains the cover sheet and all sheets listed thereon, this set is incomplete and INVALID FOR CONSTRUCTION.</p>	 ISSUE DATE 21 May 2020	
 <p>WILLIAM HODGE AIA ARCHITECT 4801 S CONGRESS AVE #N3 AUSTIN, TX 78745 512.786.9298 HODGEARCHITECT.COM</p> <p>NEW PROJECT AT 1401 E 3rd ST AUSTIN, TX 78702</p> <p>ISSUE DATE 21 May 2020 SHEET TYPE MEP Plans, Level 02.</p> <p>A106</p>							

ENTRY STAIRS- SOUTH



ENTRY DOORWAY #1 - NE



SIDE VIEW - EAST



SIDE VIEW - WEST



ENTRY STARIS - NORTH



ENTRY DOOR #2 - SE



**INTERIOR VIEW - 1ST FLOOR ENTRY
DOOR #1 - NE**



**INTERIOR VIEW - 1ST FLOOR ENTRY
DOOR #1 - NE**



EXTERIOR VIEW ENTRTY DOOR #2 -SE



INTERIOR VIEW ENTRTY DOOR #2 -SE



EXTERIOR VIEW ENTRTY DOOR #2 -SE



Re: Neighborhood Meeting

david cancialosi <david@permit-partners.com>

Fri 5/22/2020 9:08 AM

To: Susan Benz <benz@benzresourcegroup.com>

Cc: eccsector7rep@gmail.com <eccsector7rep@gmail.com>; Hon. Sabino Pio Renteria <sabino.renteria@austintexas.gov>; Derrick Dixon <derrick@waterloosurveyors.com>; Crisene Casper <ccasper@c3presents.com>; Farah Rivera <farahriviera@yahoo.es>; Julio Perez <Azucar_a1@att.net>; Kristen Heaney <kristen.e.heaney@gmail.com>; Kristen Hotopp <kristen.hotopp@gmail.com>; RENEE LOPEZ <reneelop218@yahoo.com>; Sara Pedrosa <sara.pedrosa@gmail.com>; Eric Pace <ericryanpace@gmail.com>; Kasey Jaegers <kasey@permit-partners.com>

Good morning Susan,

I have forwarded your email to my client, the property owner and the architect. Unfortunately there is not appear to be any consensus nor any details that specifically address your concerns. I apologize but since I was not involved whatsoever in the permitting nor construction phase of this project, I am unable to provide you with details myself as well.

As the board requested, we intend to provide existing elevation exhibits, proposed elevation exhibits, pictures, and fire rating information. The owner intends on installing a sprinkler system throughout the houses, and closing some windows along the upper side of the west facing façade, and relocating the doors to face Navasota.

We will be sharing this information with the city today so it could be uploaded in their back up material.

I am more than happy to facilitate an ongoing conversation in hopes to get your questions answered to her satisfaction. Please let me know how I can help do that.

Respectfully,
David

Sent from a mobile device. There will be typos. Communications sent via this device are CONFIDENTIAL and shall not be shared unless authorized by sender.

On May 21, 2020, at 16:14, Susan Benz <benz@benzresourcegroup.com> wrote:

David,

My apologies for the delay in responding. I've had a crazy couple of weeks!

Our ECC NPCT have not been meeting because the library is closed but we did figure out how to meet and vote via ZOOM and had our May meeting yesterday. We did go over the issue of your project and we would very much like to talk with you further. If necessary, we could schedule a special meeting but we'd prefer not to do that as it's difficult to get everyone's schedules coordinated. Perhaps we can do this via email? I've copied the whole team so that they can read your responses and ask their own questions. Once we've had a few conversations and folks have had a chance to ask their own questions, perhaps we can come to a conclusion to report to the BOA.

I understand that you had conflicting surveys. It happens. I'm wondering who the builder was and if the pins were difficult to locate, why the builder didn't get a surveyor out there to establish the

pins so that the foundation could be located properly. If the builder couldn't find the pins how did they do the layout?

Once the formwork for the foundation was laid out was there an inspection by the architect and owner? What did they plan to do about the fence which is obviously closer than 5 ft to the structure? Were they going to move the fence to what they believed was their property line? If not, how did they think they would be able to open those east facing doors?

Did the owner, architect or builder talk to the adjacent neighbors about the confusion and the close proximity of the fence?

We've all noticed this project and clearly it's been on hold for quite some time - at least a year. Is this hold entirely to the property line issue?

I recognize that this question is unrelated to the BOA request but I'm confused about your statement that this is a single family home with an ADU when both residences have the same layout and size. It's laid out like a duplex. Could you help me understand the intent going forward?

Again, sorry for the delay.

Thanks,

Susan

Susan Benz | Benz Resource Group

1101 - B E 6th St - Medina Street Entrance

Austin, TX 78702

512-220-9542

benz@BenzResourceGroup.com

Keep Calm and Carry On ... and wash your hands!

On Fri, May 15, 2020 at 3:11 PM david cancelosi <david@permit-partners.com> wrote:
Hi Susan,

Apologies for the delayed response. It's been a very hectic week.

I have attached the information re: surveys and site information. This information was also provided to the BOA and is available online. It does not encompass the totality of the surveying exercises performed by Waterloo Surveying. I've included Derrick Dixon from Waterloo in this email.

As I understand the pins within the immediate area and in the alley behind the lot were incorrectly tagged by a former survey(s). There was also a new survey with the purchase of the house. It was not clear which survey was correct due to the very confusing nature of locating monument pins which were either missing or decades old (if they could be found). The site plan for the house was drawn to these pins assuming they were correct. That is how the house was able to pass city zoning review and this far in the construction process. Once it was understood there was an issue, the survey crews went back to the area and uncovered data which had been previously not found. Since the entire house was constructed this presented an obvious issue - do you cut off 3' of the entire house? demolish it and construct a house 3' to the east? These are not easy to answer because any solution to the encroachment is very complex and costly.

What my client is attempting to do is find a fair compromise. This was an honest mistake, if not an easy one to make given the myriad of surveying issues in this area (as described to me). It's not unreasonable to allow an encroachment into a side yard setback. Especially on a corner lot and especially on a lot this small. It's unfortunate the mistake occurred but we are looking for the best worst case scenario. Otherwise the house gets ripped apart - literally.

At the online BOA meeting I proposed that we look changing the doors from swinging (out) to sliding. I've asked the architect to look into that as well as the fire rating of that side of the building. I also sympathize with the neighbor who feels this house is too close to his. I reminded the board this house is compliant with 100% of the City regulations with the exception of this side yard setback. The building would still be as tall as it is if it were 3' back and so forth.

That said we're looking for some acceptable compromise in lieu of demolishing all or part of the house for the sake of a few feet.

As to the city compliance and inspection questions, I honestly do not know. I do know the owner cannot obtain a Certificate of Occupancy from the city due to not being able to pass final inspection (due to the encroachment). No-one is living there at this time. I am not aware of any further on-site construction schedules nor any city enforcement actions.

Again we are trying to find a reasonable solution. This was not a malicious act by the builder. It's only a function of the best decision the builder could make using a combination survey information which the initial City-approved plans were based on.

Please feel free to contact my office directly. I would be happy to answer any questions I can.

We would also be happy to participate in any online neighborhood meetings prior to the June BOA.

Thank you.

Kind regards,
David Cancialosi

Due to the nature of the COVID19 virus, the City of Austin is experiencing longer than normal review and response times. We appreciate your patience while we diligently work to get your project approved. We hope that you and your loved ones are taking recommended precautions. - The Permit Partners Team

PERMIT PARTNERS, LLC

TEXAS EXCAVATION SOLUTIONS, LLC | TRICO FUNDING, LLC

105 W Riverside Drive, Suite 225

Austin, TX 78704

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thereof.

From: Susan Benz <benz@benzresourcegroup.com>
Sent: Tuesday, May 12, 2020 12:05 PM
To: Kasey Jaegers <kasey@permit-partners.com>
Cc: eccsector7rep@gmail.com <eccsector7rep@gmail.com>; david cancialosi <david@permit-partners.com>; Hon. Sabino Pio Renteria <sabino.renteria@austintexas.gov>; Roig, Jose G <Jose.Roig@austintexas.gov>; Votra, Doug <Doug.Votra@austintexas.gov>
Subject: Re: Neighborhood Meeting

Kasey,

Thanks for reaching out. Our meetings are required to be held in public places and we meet at the Terrazas Library on E Cesar Chavez. The library is closed and so we don't know when we will be meeting in person again. We have had several virtual votes and if you could send the documentation showing your survey problem and explain how this happened and why it was not corrected early in the process, I can share that information with the Team and see if they would change their minds from the current "strongly oppose a variance" that we have already submitted to the City.

I can tell you that one of our neighbors reported the error in the layout of the foundation to the City multiple times and we are asking for an investigation by the City to determine why this problem was not addressed as the project should have been red-flagged in January of 2018.

We've noticed that your jobsite has been silent for quite some time. Is this because the owners were notified by Code Compliance of the problem? If so, when was this notice received? We'd really appreciate the full story.

Best,

Susan

Susan Benz | [Benz Resource Group](#)

1101 - B E 6th St - Medina Street Entrance

Austin, TX 78702

512-220-9542

benz@BenzResourceGroup.com

Keep Calm and Carry On ... and wash your hands!

On Tue, May 12, 2020 at 11:45 AM Kasey Jaegers <kasey@permit-partners.com> wrote:

Mrs. Hotopp and Mrs. Benz,

Good afternoon. We are representing a client who is requesting a variance to allow a 2.77' setback in the required 5' side setback due to a survey issue. The property address is 1401 E 3rd St. Are we able to discuss this property during your next meeting? I

believe it will be held on 5/20? Please let us know what else you need from us or if you have any additional questions. Thank you.

Regards,

Kasey Jaegers, *Office Manager*

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